



Inspection Report

Sample Report

Property Address:
123 Home Sweet Home
Nice City OH 45312



National Property Inspections

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Date: 3/14/2018	Time: 08:30:00 AM	Report ID: Sample Rpt
Property: 123 Home Sweet Home Nice City OH 45312	Customer: Sample Report	Real Estate Professional:

Comment Key or Definitions

The following definitions of comment descriptions represent this inspection report. All comments by the inspector should be considered before purchasing this home. Any recommendations by the inspector to repair or replace suggests a second opinion or further inspection by a qualified contractor. All costs associated with further inspection fees and repair or replacement of item, component or unit should be considered before you purchase the property.

Inspected (IN) = I visually observed the item, component or unit and if no other comments were made then it appeared to be functioning as intended allowing for normal wear and tear.

Not Inspected (NI) = I did not inspect this item, component or unit and made no representations of whether or not it was functioning as intended and will state a reason for not inspecting.

Not Present (NP) = This item, component or unit is not in this home or building.

Repair or Replace (RR) = The item, component or unit is not functioning as intended, or needs further inspection by a qualified contractor. Items, components or units that can be repaired to satisfactory condition may not need replacement.

Standards of Practice:

ASHI (American Society of Home Inspectors), InterNACHI (International Association of Certified Home Inspectors)

In Attendance:

Customers Agent

Type of building:

Single Family (2 story)

Approximate age of building:

27 Years (1990 Est. Build)

Home Faces:

West

Temperature:

20-25F Degrees

Weather:

Cloudy

Ground/Soil surface condition:

Frozen & Snow Covered

Precipitation in the last 3 days?:

Yes

Radon Test:

Yes

Water Test:

Yes

1. Roofing / Chimneys / Roof Structure and Attic

The home inspector shall observe: Roof covering; Roof drainage systems; Flashings; Skylights, chimneys, and roof penetrations; and Signs of leaks or abnormal condensation on building components. The home inspector shall: Describe the type of roof covering materials; and Report the methods used to observe the roofing. The home inspector is not required to: Walk on the roofing; or Observe attached accessories including but not limited to solar systems, antennae, and lightning arrestors.

Styles & Materials

Viewed roof covering from:

Ground
Binoculars

Roof-Type:

Gable

Roof Covering:

Architectural
Asphalt/Fiberglass
Extra Info : One Layer

Chimney (exterior):

N/A

Sky Light(s):

Four

Roof Ventilation:

Soffit Vents
Static / Passive

Method used to observe attic:

From entry
Walked

Roof Structure:

Engineered wood trusses

Ceiling Structure:

2X4

Attic Access:

Attic Hatch
Hallway
Garage

Attic Insulation:

Fiberglass
Loose/Blown Fiberglass

Items

1.0 Roof Coverings

Inspected

Asphalt fiberglass dimensional roof shingles, estimated age is 2-5 years old with one layer. Shingles found in good repair and laying flat at the time of the inspection.

These shingles have a typical design life age is 25-30 years.

Roof surface was inspected from the ground level due to snow and ice covered surface conditions.

1.1 Flashings

Inspected

Metal flashing visible along the perimeter of the roof line or eaves. Surface found in good repair at the time of the inspection. Vent pipe seals and exhaust vent flashing found in good repair the day of the inspection.

Side wall flashing not visible due to tight clearance with the shingles and siding. Roof was not walked due to snow and ice.



1.1 Item 1(Picture)



1.1 Item 2(Picture)

1.2 Skylights, Chimneys and Roof Penetrations

Inspected

Skylights were found in good repair. Step flashing visible along the shingles surface, exterior metal and glass found in overall good repair. Drywall enclosure on the interior was found insulated in the attic and no visible water marks on the interior surface.



1.2 Item 1(Picture)

1.3 Roof Ventilation

Inspected

Static box style vent for upper ventilation and perforated soffit vents for lower ventilation.

1.4 Roof Drainage Systems (gutters and downspouts)

Inspected

Aluminum gutters and down spouts found in overall good repair at the time of the inspection. The gutters appear to have good slope.

Down spouts are connected to in ground extensions that maybe connected to drain tile, storm sewer or french style drain that leach out into the yard. Recommend monitoring the areas around the base of the downspout to assure all water is going into the ground and not backing up or forming ice at the

connection during winter months. If the area is backing up recommend using above ground extensions to prevent erosion or water entry into the crawl space or basement.

1.5 Roof Structure and Attic (Report leak signs or condensation)

Inspected

Roof structure is configured with truss support system 2" x 4" - 24" inches on center with OSB roof decking. Area was found in good repair. Limited visibility in some areas due to insulation and/or stored items.



1.5 Item 1(Picture)

1.6 Ventilation Fans and Thermostatic Controls (Attic)

Inspected

Bathroom fan is exhausting into the attic area. Because of the age of the home the vents have been like this since the house was built or when the fans were installed. No visible defects at the time of the inspection.



1.6 Item 1(Picture)

1.7 Insulation in Attic

Inspected

Loose fill and fiberglass insulation found with good coverage.

1.8 Visible Electric Wiring in Attic

Inspected

Attic had no visible electrical splices or open junction boxes found at the time of the inspection. Area has limited visibility due to insulation. Always use caution when accessing the attic area.

The roof of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Roof coverings and skylights can appear to be leak proof during inspection and weather conditions. Our inspection makes an attempt to find a leak but sometimes cannot. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

2. Exterior

The home inspector shall observe: Wall cladding, flashings, and trim; Entryway doors and a representative number of windows; Garage door operators; Decks, balconies, stoops, steps, areaways, porches and applicable railings; Eaves, soffits, and fascias; and Vegetation, grading, drainage, driveways, patios, walkways, and retaining walls with respect to their effect on the condition of the building. The home inspector shall: Describe wall cladding materials; Operate all entryway doors and a representative number of windows; Operate garage doors manually or by using permanently installed controls for any garage door operator; Report whether or not any garage door operator will automatically reverse or stop when meeting reasonable resistance during closing; and Probe exterior wood components where deterioration is suspected. The home inspector is not required to observe: Storm windows, storm doors, screening, shutters, awnings, and similar seasonal accessories; Fences; Presence of safety glazing in doors and windows; Garage door operator remote control transmitters; Geological conditions; Soil conditions; Recreational facilities (including spas, saunas, steam baths, swimming pools, tennis courts, playground equipment, and other exercise, entertainment, or athletic facilities); Detached buildings or structures; or Presence or condition of buried fuel storage tanks. The home inspector is not required to: Move personal items, panels, furniture, equipment, plant life, soil, snow, ice or debris that obstructs access or visibility.

Styles & Materials

Siding Style:

Lap

Siding Material:

Vinyl

Exterior Entry Doors:

Steel

Insulated glass

Appurtenance:

Deck with steps

Covered porch

Driveway:

Concrete

Items

2.0 Vegetation, Grading, Drainage, Driveways, Patio Floor, Walkways and Retaining Walls (With respect to their effect on the condition of the building)

Inspected

- (1) Grade around the exterior of the home appeared positive. Recommend always maintaining a positive grade to prevent water and ice building next to the foundation.
- (2) Driveway surface found in good repair and has positive slope for good water shedding.
- (3) Walkway surface found in good repair with no visible trip hazards.
- (4) Retaining wall at the walkout basement was found in overall good repair. Stacked stone was found as a good application.

2.1 Decks, Balconies, Stoops, Steps, Areaways, Porches, Patio/Cover and Applicable Railings

Repair or Replace

(1) Side entry to the in-law-suite was found with settlement and erosion. The pre-cast concrete steps was found sloping towards the home and with 2-3 inch gap below the first step and side. We recommend having the steps adjusted and repaired. Recommend additional railing on the right side for safety due to the height.



2.1 Item 1(Picture)



2.1 Item 2(Picture)



2.1 Item 3(Picture)

(2) Wooden deck marked for repair because of undersized or missing fasteners (lag bolts) in the ledger board below the south side doors. The undersized or missing fasteners can allow the ledger board to pulling away from the exterior of the house.

Exterior flashing missing or not visible along the ledger and behind the siding.

We recommend having the fasteners and flashing evaluated by a qualified deck contractor for safety.



2.1 Item 4(Picture)

2.2 Wall Cladding, Flashing and Trim

Inspected

Vinyl siding found loose and moving out of position at the gable end at the garage and over the double doors at the walkout basement. Recommend having the siding secured to prevent damage or insects nesting behind the siding.



2.2 Item 1(Picture)



2.2 Item 2(Picture)



2.2 Item 3(Picture)

2.3 Eaves, Soffits and Fascias

Inspected

Soffits have perforated surface that are metal or vinyl material found in good repair. Fascia is finished with metal flashing. Both areas were found in good repair at time of inspection.

2.4 Doors (Exterior)

Repair or Replace

Double doors at the walkout section of the basement marked for repair or replacement. Doors are not flashed correctly on the exterior and suspect past and future leaks on the interior.

Secondary door is badly rusted at the base, wood rotted frame and primary door has loose hinge screws. Thermal glass in the two doors were noted with fogging.

We recommend evaluation and repairs or replacement by qualified contractor.



2.4 Item 1(Picture)



2.4 Item 2(Picture)



2.4 Item 3(Picture)

2.5 Windows

Inspected

Main house has vinyl replacement windows installed with exterior metal flashing wrap found in good repair and well sealed. Windows are dual pane, dual sash no visible signs of fogging or condensation between the glass panes.

In-law suite has wood windows with thermal glass and painted exterior. Windows found in good repair no fogging.

2.6 Plumbing Water Faucets (hose bibs)

Inspected

Exterior hose spigot(s) were tested the day of inspection and operated correctly. Spigots were pressure tested by capping the end and turning the valve on to identify leaks. No leaks detected the day of inspection.

Recommend having the outside valves secured to the exterior siding to prevent twisting on the pipe connections and joints.

Recommend always removing garden hoses or attachments during winter months.



2.6 Item 1(Picture)

2.7 Outlets (Exterior)

Repair or Replace

Exterior plug at the rear of the home tested good for ground circuit and correct polarity. No GFCI protection. GFCI protection should be present due to age of the build. Recommend evaluation by qualified electrical contractor as needed.

Porch plug was found loose and missing protective cover. Recommend having the plug or electrical box secured for safety.



2.7 Item 1(Picture)

The exterior of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

3. Garage

Styles & Materials

Garage Door Type:

One manual
One automatic

Garage Door Material:

Insulated
Metal

Auto-opener Manufacturer:

1/2 HORSEPOWER
OVERHEAD DOOR

Items

3.0 Garage Ceiling

Inspected

General deterioration from use and age; typical marks on the ceiling and walls due to normal wear.

3.1 Garage Walls

Inspected

Walls found in overall good repair. General deterioration consistent with use and age; typical cracks and marks due to normal wear. Limited visibility due to home owner personal possessions.



3.1 Item 1(Picture)



3.1 Item 2(Picture)



3.1 Item 3(Picture)

3.2 Garage Windows

Not Present

3.3 Garage Floor

Inspected

Concrete floor in the garage found in good repair, surface slopes towards the garage door opening.

3.4 Garage Pedestrian Access Door

Inspected

Garage pedestrian door into the house was tested. Door and door hardware were found in overall good repair and operated correctly at the time of the inspection.

3.5 Garage Door (s)

Inspected

Garage door was operated by hand to assure the door worked smoothly and would stay open when lifted to the most open position. Door and lifting spring hardware found in good repair.

3.6 Garage Door Operators (Report whether or not doors will reverse when met with resistance)

Inspected

(1) Garage door lift motor was tested at the time of inspection. Door opener is equipped with optical reverse safety sensors at the door opening. Safety sensors were tested and functioned correctly the day of inspection.

(2) Down force reverse sensitivity was tested and found inoperable with no response when the inspector held the door during operation. Recommend adjustments to the down force sensitivity by a qualified garage door contractor.

3.7 Garage Electrical

Inspected

Electrical plugs and light fixtures tested correctly. No GFCI receptacle found or accessible.

4. Structural Components

The Home Inspector shall observe structural components including foundations, floors, walls, columns or piers, ceilings and roof. The home inspector shall describe the type of Foundation, floor structure, wall structure, columns or piers, ceiling structure, roof structure. The home inspector shall: Probe structural components where deterioration is suspected; Enter under floor crawl spaces, basements, and attic spaces except when access is obstructed, when entry could damage the property, or when dangerous or adverse situations are suspected; Report the methods used to observe under floor crawl spaces and attics; and Report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components. The home inspector is not required to: Enter any area or perform any procedure that may damage the property or its components or be dangerous to or adversely effect the health of the home inspector or other persons.

Styles & Materials

Foundation:

Masonry block

Method used to observe Crawlspace:

No crawlspace

Floor Structure:
2 X 10
Wood joists
Wall Structure:

2 X 4 Wood

Columns or Piers:
Built-up Main Beam
Steel lally columns
Floor System Insulation:

Batts/Joist Pockets

Items

4.0 Foundations, Basements and Crawlspaces (Report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components.)

Inspected

One story home with a full basement and attached garage. Exterior foundation surface was found in good repair, concrete block with painted surface in most areas. Material looked straight and solid.

Basement has limited visibility due to fixed finished basement walls and ceilings. Unfinished location(s) is concrete block with no significant settlement or displacement found in the walls.

Water entry into the basement workshop below the in-law suite because of staining noted on the block. We would recommend monitoring and keep gutters and down spouts in good working order to manage moisture around the structure.

Foundation is marked for further evaluation and repair due to visible moisture entry and/or efflorescence on walls in the (LOCATION) of the basement/crawlspace. Recommend further evaluation and repairs by a qualified foundation waterproofing contractor.



4.0 Item 1(Picture) area behind exterior stoop



4.0 Item 2(Picture)

4.1 Walls (Structural)

Inspected

Interior wall surfaces were found in good repair. Main support walls had no visible defects.

4.2 Columns or Piers

Inspected

Built up wood beam support running the length of the basement. Beam is supported by foundation and fixed steel posts. Main beam and support posts found in good condition.

4.3 Floors (Structural)

Inspected

Floor structure is made of 2" x 10" dimensional floor joists 16 inches on center with OSB sub floor sheathing. Joists and floor found in good repairs were visible.

4.4 Ceilings (Structural)

Inspected

Ceilings surfaces are textured drywall found in good repair with no visible defects the day of inspection.

4.5 Insulation under Floor System

Inspected

Floor insulation consist of joist pocket ends filled with fiberglass insulation. This reduces air infiltration, reduces conditioned air loss and prevents condensation forming around the band board, joist ends and sill plate.

The structure of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

5. Plumbing System

The home inspector shall observe: Interior water supply and distribution system, including: piping materials, supports, and insulation; fixtures and faucets; functional flow; leaks; and cross connections; Interior drain, waste, and vent system, including: traps; drain, waste, and vent piping; piping supports and pipe insulation; leaks; and functional drainage; Hot water systems including: water heating equipment; normal operating controls; automatic safety controls; and chimneys, flues, and vents; Fuel storage and distribution systems including: interior fuel storage equipment, supply piping, venting, and supports; leaks; and Sump pumps. The home inspector shall describe: Water supply and distribution piping materials; Drain, waste, and vent piping materials; Water heating equipment; and Location of main water supply shutoff device. The home inspector shall operate all plumbing fixtures, including their faucets and all exterior faucets attached to the house, except where the flow end of the faucet is connected to an appliance. The home inspector is not required to: State the effectiveness of anti-siphon devices; Determine whether water supply and waste disposal systems are public or private; Operate automatic safety controls; Operate any valve except water closet flush valves, fixture faucets, and hose faucets; Observe: Water conditioning systems; Fire and lawn sprinkler systems; On-site water supply quantity and quality; On-site waste disposal systems; Foundation irrigation systems; Spas, except as to functional flow and functional drainage; Swimming pools; Solar water heating equipment; or Observe the system for proper sizing, design, or use of proper materials.

Styles & Materials

Water Source:

Well

Water Filters:
Whole house conditioner
(We do not inspect filtration systems)
Plumbing Water Supply (into home):

Copper

Plumbing Water Distribution (inside home):

Copper

Washer Drain Size:

2" Diameter

Plumbing Waste Line:

PVC

Water Heater Power Source:

Gas (quick recovery)

Water Heater Capacity:

50 Gallon (2-3 people)

Water Heater Manufacturer:
WHIRLPOOL
Extra Info : 11 Yr. Old
Water Heater Location:

Basement

Items

5.0 Plumbing Drain, Waste and Vent Systems

Inspected

Plumbing drain lines are located in basement of the home. All wet areas (kitchen sink, bathroom sink, tub & showers) were tested the day of the inspection and were found to be satisfactory for drainage with no visible leaks.

Main clean out is located in the basement.

This inspection did not access the septic tank or determine its exact location. No visible risers or cleanout lids were noted. For a more detailed information regarding the septic, we recommend you contact a septic pumping company for inspection and pumping.

5.1 Plumbing Water Supply and Distribution Systems and Fixtures

Repair or Replace

(1) Metals or debris in the water making it cloudy and dark. Recommend a whole house filter and softener check-up.



5.1 Item 1(Picture)

(2) The water pressure over-all is weak to the second floor showers and sinks. A possible reason for weak volume or pressure could be the plumbing supply configuration (Softener/Bladder tank/Second floor Plumbing). Shower control valve may have a buildup of debris causing the water pressure problem. We recommend having a plumber check.

(3) The water filters or softening device was not inspect. We recommend contacting the installer or qualified contractor for information on service, life expectancy and condition.

(4) Water supply line leaks noted at the basement pedestal sink. Recommend having the supply valves & nipples repaired by qualified plumbing contractor.



5.1 Item 2(Picture)

5.2 Hot Water Systems, Controls, Chimneys, Flues and Vents

Inspected

Water heater was operating correctly the day of inspection. Safety equipment installed properly and in good repair. No visible leaks.

5.3 Main Water Shut-off Device (Describe location)

Inspected

Main water shut off is located in the basement above the bladder tank.



5.3 Item 1(Picture)

5.4 Fuels Storage and Distribution Systems (Interior fuel storage, piping, venting, supports, leaks)

Inspected

Black iron pipe used for the natural gas supply line found in the utility room. Water heater and furnace were found with operational shut off valves.

5.5 Main Fuel Shut-off (Describe Location)

Inspected

Main natural gas shut off is located at the meter side of the home.

5.6 Sump Pump

Repair or Replace

Basement sump pump was disconnected and not functional. Recommend replacement.

Workshop pump was not functional and pit was full of condensation from the ventilation unit. Recommend both pumps be configured to drain outside, new pumps installed and with correct circuits.

The plumbing in the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Washing machine drain line for example cannot be checked for leaks or the ability to handle the volume during drain cycle. Older homes with galvanized supply lines or cast iron drain lines can be obstructed and barely working during an inspection but then fails under heavy use. If the water is turned off or not used for periods of time (like a vacant home waiting for closing) rust or deposits within the pipes can further clog the piping system. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

6. Electrical System

The home inspector shall observe: Service entrance conductors; Service equipment, grounding equipment, main over current device, and main and distribution panels; Amperage and voltage ratings of the service; Branch circuit conductors, their over current devices, and the compatibility of their ampacities and voltages; The operation of a representative number of installed ceiling fans, lighting fixtures, switches and receptacles located inside the house, garage, and on the dwelling's exterior walls; The polarity and grounding of all receptacles within six feet of interior plumbing fixtures, and all receptacles in the garage or carport, and on the exterior of inspected structures; The operation of ground fault circuit interrupters; and Smoke detectors. The home inspector shall describe: Service amperage and voltage; Service entry conductor materials; Service type as being overhead or underground; and Location of main and distribution panels. The home inspector shall report any observed aluminum branch circuit wiring. The home inspector shall report on presence or absence of smoke detectors, and operate their test function, if accessible, except when detectors are part of a central system. The home inspector is not required to: Insert any tool, probe, or testing device inside the panels; Test or operate any over current device except ground fault circuit interrupters; Dismantle any electrical device or control other than to remove the covers of the main and auxiliary distribution panels; or Observe: Low voltage systems; Security system devices, heat detectors, or carbon monoxide detectors; Telephone, security, cable TV, intercoms, or other ancillary wiring that is not a part of the primary electrical distribution system; or Built-in vacuum equipment.

Styles & Materials

Electrical Service Conductors:

Below ground

Panel capacity:

200 AMP

Panel Type:

Circuit breakers

Electric Panel Manufacturer:

SIEMENS

Branch wire 15 and 20 AMP:

Copper

Wiring Methods:

Non-Metallic/Jacket Wire (AKA Romex)

Items

6.0 Service Entrance Conductors

Inspected

Electrical service is under ground. Meter box and conduit found in good repair.

6.1 Service and Grounding Equipment, Main Overcurrent Device, Main and Distribution Panels

Repair or Replace

Main panel in the workshop has incorrect ground bond to the water pipes. The grounding connection should extend into the basement where the copper pipe enters the home.

Clean up work in the pane box of removing double tapped neutral and grounded circuits ont he bus bar is recommended. Item 2(Picture)

Second floor master bathroom was found with grounding wire attached to the cold water pipe in the vanity. Unknow where the connection goes too (Jetted tub) but water pipes are not acceptable grounding path for branch circuits or appliances.

We recommend repairs by qualified electrical contractor.



6.1 Item 1(Picture)



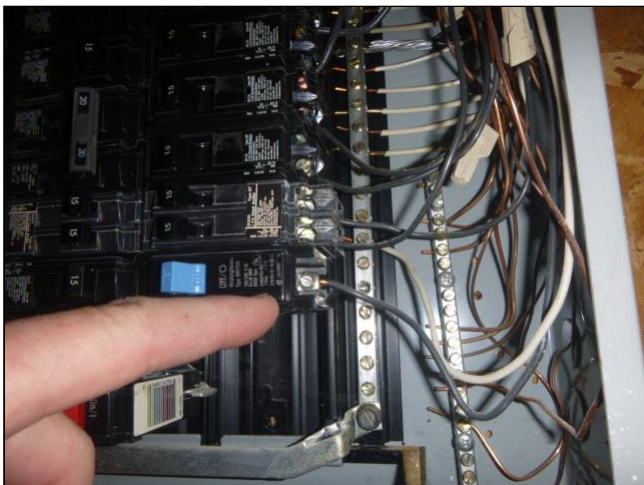
6.1 Item 2(Picture)

6.2 Branch Circuit Conductors, Overcurrent Devices and Compatability of their Amperage and Voltage

Repair or Replace

(1) Sub panel located in the basement bathroom is marked for repair because of incorrec wire gauge to the beakers. Two breakers are oversized to the gauge of wire.

Panel and circuits should be checked and repaired by qualified electrical contractor.



6.2 Item 1(Picture)



6.2 Item 2(Picture)

(2) Electrical circuit fuse protection for the two AC units is over sized according to the manufacture. Recommend further evaluation and repairs by qualified electrical contractor.

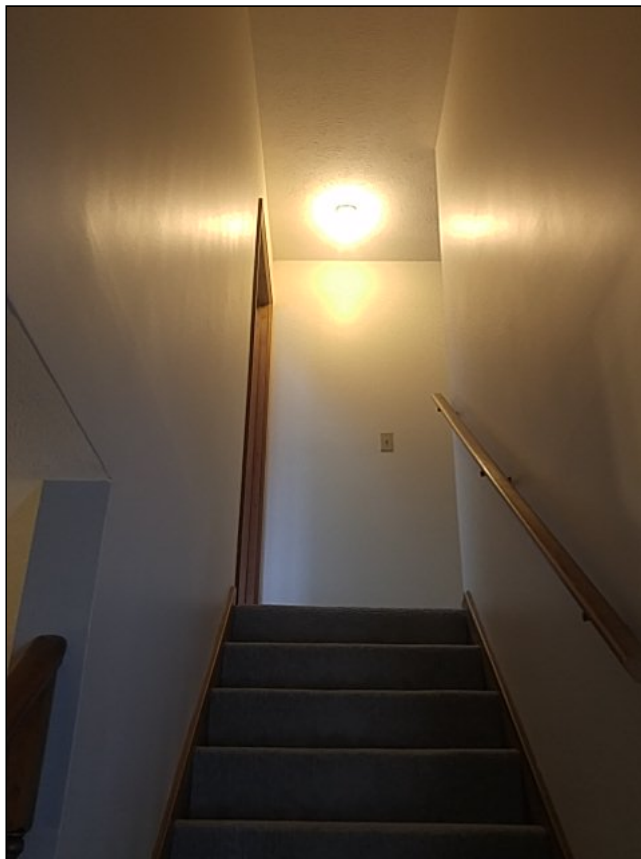
6.3 Connected Devices and Fixtures (Observed from a representative number operation of ceiling fans, lighting fixtures, switches and receptacles located inside the house, garage, and on the dwelling's exterior walls)**Repair or Replace**

(1) Three way switch in the near front door (marked with tape) is not wired correctly or has incorrect switch. The light(s) could not be controlled properly from both locations as designed. Recommend having the location checked and repaired by qualified electrical contractor.

The above items are considered electrical hazards that effect the safety and habitability of the occupant. A qualified electrical contractor is recommend for these repairs.



6.3 Item 1(Picture)



6.3 Item 2(Picture)

(2) Wall switch next to the washer/dryer had no function. Switch should control ceiling light as you exit or enter the room. Recommend repairs as needed.



6.3 Item 3(Picture)

(3) Built-in microwave at the in-law suite shares the circuit with the GFCI counter top plugs. This can cause tripping due to circuit loads. Would recommend having a dedicated circuit installed for the microwave.

(4) Closet light fixture is out/non functional in the area of the balder tank and water softener.

6.4 Polarity and Grounding of Receptacles within 6 feet of interior plumbing fixtures, and all receptacles in garage, carport and exterior walls

Inspected

Plug tester indicated proper wire configuration and circuit grounding.

6.5 Arc Fault Breakers (AFCI - In Panel)

Not Present

AFCI (Arc Fault Circuit Interrupter) breaker were not present. AFCI outlets were not a requirement when the home was constructed. No further action required.

6.6 Operation of GFCI (Ground Fault Circuit Interrupters)

Inspected

GFCI plug or GFCI protected circuits were found in the kitchen.

We recommend adding GFCI protected circuits or plugs for all bathrooms, garages and exterior for safety and value.

6.7 Location of Main and Distribution Panels

Inspected

Panel box and main disconnect switch located in the workshop below the in-law suite.

6.8 Smoke Detectors

Repair or Replace

(1) Smoke detector has been removed from the In-Law suite. Recommend replacing for safety.



6.8 Item 1(Picture)

(2) Smoke detectors found on each level of the home and outside the sleeping rooms on the second floor. Detectors are connected to the electrical system of the the home and have a battery back-up in the case of power failure. Recommend replacing the batteries once a year to assure reliable operation in the event of power outage.

Smoke detectors have a 10 year operational life expectancy and manufactures recommend home owner test them monthly to assure operation.



6.8 Item 2(Picture)



6.8 Item 3(Picture)

6.9 Carbon Monoxide Detectors

Inspected

Carbon monoxide detectors found on every level of the main house. Recommend adding CO detectors to the In-Law Suite.

The electrical system of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Outlets were not removed and the inspection was only visual. Any outlet not accessible (behind the refrigerator for example) was not inspected or accessible. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

7. Heating / Central Air Conditioning

The home inspector shall observe permanently installed heating and cooling systems including: Heating equipment; Cooling Equipment that is central to home; Normal operating controls; Automatic safety controls; Chimneys, flues, and vents, where readily visible; Solid fuel heating devices; Heat distribution systems including fans, pumps, ducts and piping, with supports, insulation, air filters, registers, radiators, fan coil units, convectors; and the presence of an installed heat source in each room. The home inspector shall describe: Energy source; and Heating equipment and distribution type. The home inspector shall operate the systems using normal operating controls. The home inspector shall open readily openable access panels provided by the manufacturer or installer for routine homeowner maintenance. The home inspector is not required to: Operate heating systems when weather conditions or other circumstances may cause equipment damage; Operate automatic safety controls; Ignite or extinguish solid fuel fires; or Observe: The interior of flues; Fireplace insert flue connections; Humidifiers; Electronic air filters; or The uniformity or adequacy of heat supply to the various rooms.

Styles & Materials

Heat Type:

Forced Air

Energy Source:

Natural gas

Number of Heat Systems (excluding wood):

Two

Heat System Brand:
RHEEM
RUUD
Ductwork:

Non-insulated

Filter Type:

Disposable

Filter Size:

20x20

Types of Fireplaces:

None

Number of Woodstoves:

None

Cooling Equipment Type:

Air conditioner unit

Cooling Equipment Energy Source:

Electricity

Central Air Manufacturer:
LENNOX
RUUD
Number of AC Only
Units:

None

Items

7.0 Heating Equipment

Inspected

Furnace is a 80% efficiency forced gas unit. System found operational and working properly at the time of the inspection. Observed one cycle and the unit appeared to cycle properly at the time of the inspection.

7.1 Normal Operating Controls

Inspected

Thermostat was found in good working order. Heating source responded to request for heat and fan operation at the time of inspection.

7.2 Automatic Safety Controls

Inspected

Safety devices operating on the furnace at the time of inspection. Draft induction motor, blower motor cut off switch found operational. Unit started and stopped normally.

7.3 Condensate Control & Drainage

Inspected

Condensate line uses gravity to control the moisture from the ventilation system to the floor drain. Lines require general maintenance to assure reliable operation.



7.3 Item 1(Picture)

7.4 Distribution Systems (including fans, pumps, ducts and piping, with supports, insulation, air filters, registers, radiators, fan coil units and convectors)

Inspected

In floor supply vent with central hallway return air duct. Air distribution throughout the house was found satisfactory and filter checked dirty. Filters is located in the furnace return air duct and requires replacing every 2-3 month to help with cleaning of the air circulated through the furnace.

7.5 Presence of installed heat source in each room

Inspected

All perimeter rooms were found with heat source.

7.6 Chimneys, Flues and Vents (for fireplaces, gas water heaters or heat systems)

Inspected

Metal appliance vent shared by the hot water heater and furnace found in good repair. Vent extends from the appliance, through the attic and above the roof line. Vent is used to exhaust the combustion by-products from the two appliances.

7.7 Cooling and Air Handler Equipment

Inspected

Air Conditioning units were NOT tested due to outside temperature has been below 65 degree Fahrenheit at the time of inspection. Manufactures recommend that testing takes place when the temperature is constantly above 65 for longer then a 24 hour time period for best results and to prevent possible damage to the unit.

We have selected this statement to show on the summary page for your information.

AC unit for the main house is 2.5 Ton and 14 years old.

AC unit for the In-Law Suite is 1.5 Ton and 21 years old. AC units typically have 15-18 year service life. This unit may require annual maintenance or repair to assure adequate cooling or reliability.

The heating and cooling system of this home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection is not meant to be technically exhaustive. The inspection does not involve removal and inspection behind service door or dismantling that would otherwise reveal something only a licensed heat contractor would discover. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

8. Kitchen Components and Appliances

The home inspector shall observe and operate the basic functions of the following kitchen appliances: Permanently installed dishwasher, through its normal cycle; Range, cook top, and permanently installed oven; Trash compactor; Garbage disposal; Ventilation equipment or range hood; and Permanently installed microwave oven. The home inspector is not required to observe: Clocks, timers, self-cleaning oven function, or thermostats for calibration or automatic operation; Non built-in appliances; or Refrigeration units. The home inspector is not required to operate: Appliances in use; or Any appliance that is shut down or otherwise inoperable.

Styles & Materials

Dishwasher Brand:

KITCHEN AIDE

Disposer Brand:

WHIRLAWAY

Exhaust/Range hood:

RE-CIRCULATE

Range/Oven:

FRIGIDAIRE

Built in Microwave:

NONE

Trash Compactors:

NONE

Cabinetry:

Wood

Countertop:

Laminate

Clothes Dryer Vent Material:

Metal

Dryer Power Source:

220 Electric

Items

8.0 Ceiling

Inspected

Fixed ceiling surface found in good repair no visible defects or water entry marks. Evidence of previous repairs to ceiling and texture.

8.1 Walls

Inspected

Wall surface found in good repair no visible defects or water entry marks.

8.2 Floor

Inspected

Kitchen floor surface found in good repair.

8.3 Windows

Inspected

Window operated as intended and screen found in good repair.

8.4 Counters and a representative number of Cabinets

Inspected

Counter tops, cabinets and drawers found in overall good repair and have general deterioration due to normal wear and tear.

8.5 Plumbing Drain and Vent Systems

Inspected

Plumbing drains found with with general corrosion due to past air leaks and condensation. No visible leaks the day of inspection and operated correctly the day of inspection.

8.6 Plumbing Water Supply Faucets and Fixtures

Inspected

Faucet and supply lines found in good repair. Kitchen faucet had good water pressure on the hot and cold side at the time of inspection.

8.7 Outlets Wall Switches and Fixtures

Inspected

Plugs and switches operated correctly when tested.

8.8 Dishwasher**Inspected**

Dishwasher was tested by running a normal wash and dry cycle. Device appeared to operated correctly. No visible leaks.

8.9 Ranges/Ovens/Cooktops**Inspected**

Electric range was found in good repair. Device was tested for on/off operation.

8.10 Range Hood**Inspected**

Recirculating hood vent with light. Device was found in good repair.

8.11 Food Waste Disposer**Inspected**

Disposal unit operated correctly, no noted leaks or defects.

8.12 Clothes Dryer Vent Piping**Inspected**

Dryer vents directly out the side of the home. Recommend air sealing around vent opening.

8.13 Laundry Connections / Utility Room**Inspected**

House was occupied with laundry equipment in place. Equipment appeared to be in good working order and the two devices were NOT tested. Electrical and water connections were found in good repair with no visible defects or leaks at the time of the inspection.

The built-in appliances of the home were inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

9. Bathroom and Components

Styles & Materials

Exhaust Fans:

Fan only

Items

9.0 Counters and Cabinets

Inspected

Counter top(s) and cabinet(s) were in good repair with operational door and drawers. Cabinet base shelf and interior drawer surface with general marks from normal use.

9.1 Doors (Representative number)

Inspected

Basement bathroom door needs adjusting, door closes well but does not latch. Recommend adjustments to the door, door frame or lock set for reliable closing and latching for privacy.

9.2 Windows

Inspected

Window operated as intended and screen found in good repair.

9.3 Floors

Inspected

Floor surface found in good repair.

9.4 Plumbing Drain, Waste and Vent Systems

Repair or Replace

(1) In-law bathroom toilet was not tested, missing flush lever and tank was dry.

In-law vanity sink drain leaks. Recommend repairing or replacing parts by qualified plumbing contractor.

(2) Main house bathroom drains in good repair, sink, toilet and shower were all operated at the same time to evaluate water pressure and drainage. No visible leaks within the bathroom area the day of inspection.

9.5 Plumbing Water Supply and Distribution Systems and Fixtures

Repair or Replace

Faucet valve leaks at the in-law suite vanity when turned on.

Faucet valve leaks at the jetted tub when turned on.

Supply line disconnected to the toilet and toilet is non-functional at the inlaw suite bath.

We recommend above repairs by qualified plumbing contractor. Toilet should be rebuilt because of dried out tank hardware and seals. Trap and tank were dry on the toilet.

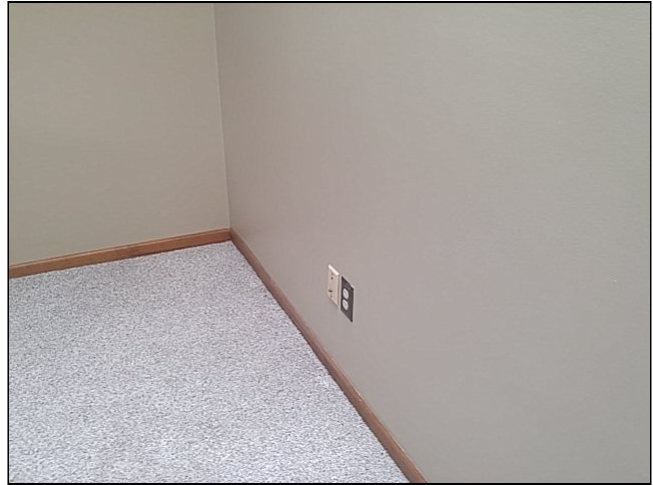
9.6 Enclosure / Tub & Shower

Inspected

Jetted Tub was tested and appeared to operate correctly at the time of inspection. Tub had no accessible service access panel present. Inspector was not able to inspect the plumbing supply lines, plumbing drain lines or the electric source to the motor. Recommend adding an access panel to allow for future inspection or future service if necessary. Recommend repairs by qualified contractor.



9.6 Item 1(Picture)



9.6 Item 2(Picture)

9.7 Outlets Switches and Fixtures

Repair or Replace

Vanity light missing and exposed electrical leads. Recommend repairs.



9.7 Item 1(Picture)



9.7 Item 2(Picture)

9.8 Exhaust fan

Inspected

Exhaust fan was operational when tested.

10. Rooms

The home inspector shall observe: Walls, ceiling, and floors; Steps, stairways, balconies, and railings; Counters and a representative number of installed cabinets; and A representative number of doors and windows. The home inspector shall: Operate a representative number of windows and interior doors; and Report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components. The home inspector is not required to observe: Paint, wallpaper, and other finish treatments on the interior walls, ceilings, and floors; Carpeting; or Draperies, blinds, or other window treatments.

Styles & Materials

Ceiling Materials:

Drywall

Wall Material:

Drywall

Floor Covering(s):

Carpet
LVT (Luxury Vinyl Tile)

Interior Doors:

Solid
Raised panel
Wood

Window Types:

Double-hung
Thermal/Insulated

Window Manufacturer:

ANDERSEN
POLARIS

Items

10.0 Ceilings

Inspected

Tape joint cracks and previous repairs noted on the master bedroom and bathroom near skylights. Cosmetic details.

Previous repair noted on the basement ceiling.



10.0 Item 1(Picture)



10.0 Item 2(Picture)



10.0 Item 3(Picture)

10.1 Walls

Inspected

Drywall surfaces found in good repair. Limited visibility due to home owners personal items.

Basement closet wall in the southeast corner was found with surface residue. Area measured dry but maybe splatter or past fungal growth. Recommend evaluation by qualified handyman or contractor.



10.1 Item 1(Picture)



10.1 Item 2(Picture)

10.2 Floors

Inspected

Flooring found in good condition at time of inspection. Normal wear due to age and usage.

10.3 Steps, Stairways, Balconies and Railings

Repair or Replace

Open railing found on the stairway located in the basement. Open railing sections can become a hazard for adults, children and pets. This is a consistent configuration for the age of the home. Recommend considering balusters or solid wall installed for safety. This is for the buyers information.

Handrail at the basement stairs is loose at the wall. Recommend replacing the support to prevent injury.



10.3 Item 1(Picture)



10.3 Item 2(Picture)

10.4 Doors (Representative number)

Inspected

Double bedroom doors at the in-law suite are missing handles. No way to open the doors after closing. Recommend adding handles.



10.4 Item 1(Picture)



10.4 Item 2(Picture)

10.5 Windows (Representative number)

Inspected

Windows operated as intended and screens found in good repair.

10.6 Outlets, Switches and Fixtures

Inspected

(1) Ceiling fan in the In-Law suite need adjusting or securing because the fixture wobbles when the fan is running (sounds like a wind chime), recommend repairs by qualified electrical contractor or handyman.

(2) Closets were found with open/surface mounted light fixtures. Recommend having replacement fixtures installed that have a globe or cover over the light because of fire hazard.



10.6 Item 1(Picture)

The interior of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection did not involve moving furniture and inspecting behind furniture, area rugs or areas obstructed from view. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

Summary



National Property Inspections

**2124 Canterbury Ct
Troy, OH 45373
937-332-1413**

Customer
Sample Report

Address
123 Home Sweet Home
Nice City OH 45312

The following items or discoveries indicate that these systems or components **do not function as intended** or **adversely affects the habitability of the dwelling**; or **warrants further investigation by a specialist**, or **requires subsequent observation**. This summary shall not contain recommendations for routine upkeep of a system or component to keep it in proper functioning condition or recommendations to upgrade or enhance the function or efficiency of the home. This Summary is not the entire report. The complete report may include additional information of concern to the customer. It is recommended that the customer read the complete report.

2. Exterior

General Summary

2.1 Decks, Balconies, Stoops, Steps, Areaways, Porches, Patio/Cover and Applicable Railings

Repair or Replace

(1) Side entry to the in-law-suite was found with settlement and erosion. The pre-cast concrete steps was found sloping towards the home and with 2-3 inch gap below the first step and side. We recommend having the steps adjusted and repaired. Recommend additional railing on the right side for safety due to the height.



2.1 Item 1(Picture)



2.1 Item 2(Picture)



2.1 Item 3(Picture)

(2) Wooden deck marked for repair because of undersized or missing fasteners (lag bolts) in the ledger board below the south side doors. The undersized or missing fasteners can allow the ledger board to pulling away from the exterior of the house.

Exterior flashing missing or not visible along the ledger and behind the siding.

We recommend having the fasteners and flashing evaluated by a qualified deck contractor for safety.



2.1 Item 4(Picture)

2.2 Wall Cladding, Flashing and Trim

Inspected

Vinyl siding found loose and moving out of position at the gable end at the garage and over the double doors at the walkout basement. Recommend having the siding secured to prevent damage or insects nesting behind the siding.



2.2 Item 1(Picture)



2.2 Item 2(Picture)



2.2 Item 3(Picture)

2.4 Doors (Exterior)

Repair or Replace

Double doors at the walkout section of the basement marked for repair or replacement. Doors are not flashed correctly on the exterior and suspect past and future leaks on the interior.

Secondary door is badly rusted at the base, wood rotted frame and primary door has loose hinge screws. Thermal glass in the two doors were noted with fogging.

We recommend evaluation and repairs or replacement by qualified contractor.



2.4 Item 1(Picture)



2.4 Item 2(Picture)



2.4 Item 3(Picture)

2.7 Outlets (Exterior)

Repair or Replace

Exterior plug at the rear of the home tested good for ground circuit and correct polarity. No GFCI protection. GFCI protection should be present due to age of the build. Recommend evaluation by qualified electrical contractor as needed.

Porch plug was found loose and missing protective cover. Recommend having the plug or electrical box secured for safety.



2.7 Item 1(Picture)

3. Garage

General Summary

3.6 Garage Door Operators (Report whether or not doors will reverse when met with resistance)

Inspected

(2) Down force reverse sensitivity was tested and found inoperable with no response when the inspector held the door during operation. Recommend adjustments to the down force sensitivity by a qualified garage door contractor.

4. Structural Components

General Summary

4.0 Foundations, Basements and Crawlspace (Report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components.)

Inspected

One story home with a full basement and attached garage. Exterior foundation surface was found in good repair, concrete block with painted surface in most areas. Material looked straight and solid.

Basement has limited visibility due to fixed finished basement walls and ceilings. Unfinished location(s) is concrete block with no significant settlement or displacement found in the walls.

Water entry into the basement workshop below the in-law suite because of staining noted on the block. We would recommend monitoring and keep gutters and down spouts in good working order to manage moisture around the structure.

Foundation is marked for further evaluation and repair due to visible moisture entry and/or efflorescence on walls in the (LOCATION) of the basement/crawlspace. Recommend further evaluation and repairs by a qualified foundation waterproofing contractor.



4.0 Item 1(Picture) area behind exterior stoop



4.0 Item 2(Picture)

5. Plumbing System

General Summary

5.1 Plumbing Water Supply and Distribution Systems and Fixtures

Repair or Replace

(1) Metals or debris in the water making it cloudy and dark. Recommend a whole house filter and softener check-up.



5.1 Item 1(Picture)

(2) The water pressure over-all is weak to the second floor showers and sinks. A possible reason for weak volume or pressure could be the plumbing supply configuration (Softener/Bladder tank/Second floor Plumbing). Shower control valve may have a buildup of debris causing the water pressure problem. We recommend having a plumber check.

(3) The water filters or softening device was not inspect. We recommend contacting the installer or qualified contractor for information on service, life expectancy and condition.

(4) Water supply line leaks noted at the basement pedestal sink. Recommend having the supply valves & nipples repaired by qualified plumbing contractor.



5.1 Item 2(Picture)

5.6 Sump Pump

Repair or Replace

Basement sump pump was disconnected and not functional. Recommend replacement.

Workshop pump was not functional and pit was full of condensation from the ventilation unit. Recommend both pumps be configured to drain outside, new pumps installed and with correct circuits.

6. Electrical System

General Summary

6.1 Service and Grounding Equipment, Main Overcurrent Device, Main and Distribution Panels

Repair or Replace

Main panel in the workshop has incorrect ground bond to the water pipes. The grounding connection should extend into the basement where the copper pipe enters the home.

Clean up work in the pane box of removing double tapped neutral and grounded circuits ont he bus bar is recommended. Item 2(Picture)

Second floor master bathroom was found with grounding wire attached to the cold water pipe in the vanity. Unknow where the connection goes too (Jetted tub) but water pipes are not acceptable grounding path for branch circuits or appliances.

We recommend repairs by qualified electrical contractor.



6.1 Item 1(Picture)



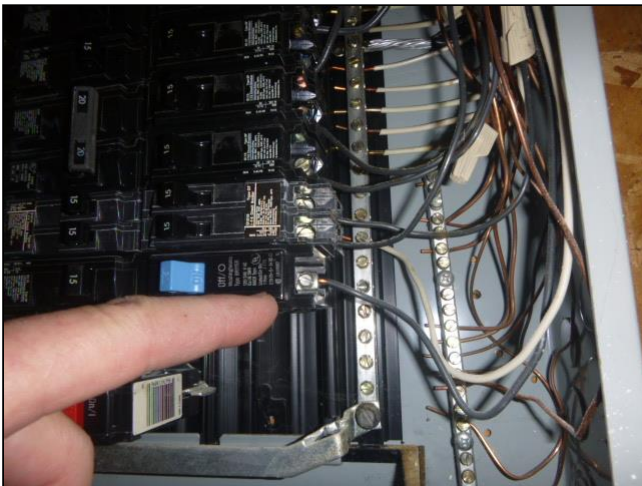
6.1 Item 2(Picture)

6.2 Branch Circuit Conductors, Overcurrent Devices and Compatibility of their Amperage and Voltage

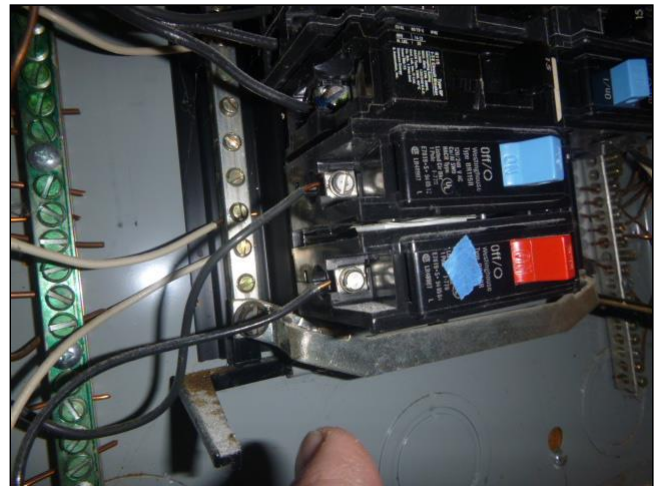
Repair or Replace

(1) Sub panel located in the basement bathroom is marked for repair because of incorrect wire gauge to the breakers. Two breakers are oversized to the gauge of wire.

Panel and circuits should be checked and repaired by qualified electrical contractor.



6.2 Item 1(Picture)



6.2 Item 2(Picture)

(2) Electrical circuit fuse protection for the two AC units is over sized according to the manufacture. Recommend further evaluation and repairs by qualified electrical contractor.

6.3 Connected Devices and Fixtures (Observed from a representative number operation of ceiling fans, lighting fixtures, switches and receptacles located inside the house, garage, and on the dwelling's exterior walls)

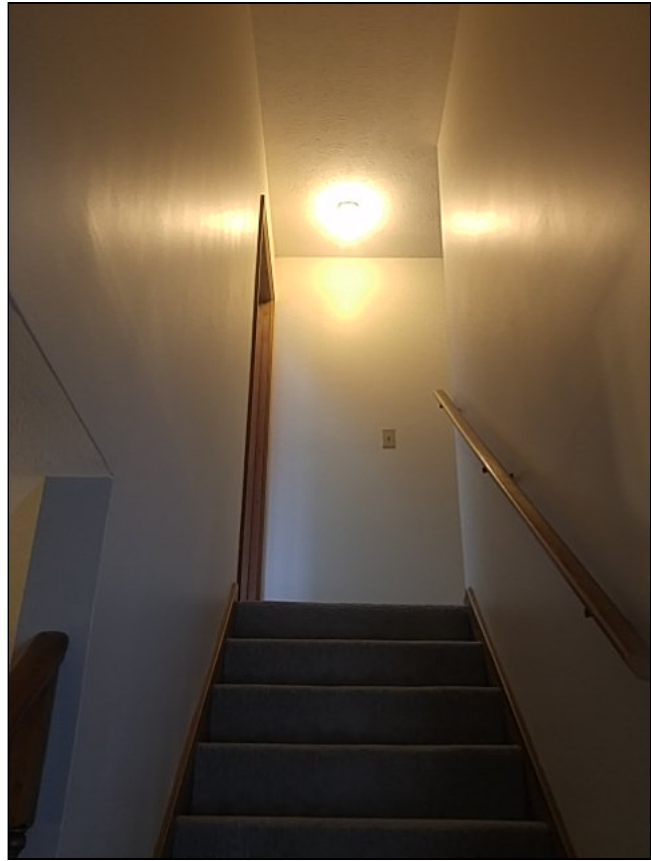
Repair or Replace

(1) Three way switch in the near front door (marked with tape) is not wired correctly or has incorrect switch. The light(s) could not be controlled properly from both locations as designed. Recommend having the location checked and repaired by qualified electrical contractor.

The above items are considered electrical hazards that effect the safety and habitability of the occupant. A qualified electrical contractor is recommend for these repairs.



6.3 Item 1(Picture)



6.3 Item 2(Picture)

(2) Wall switch next to the washer/dryer had no function. Switch should control ceiling light as you exit or enter the room. Recommend repairs as needed.



6.3 Item 3(Picture)

(3) Built-in microwave at the in-law suite shares the circuit with the GFCI counter top plugs. This can cause tripping due to circuit loads. Would recommend having a dedicated circuit installed for the microwave.

(4) Closet light fixture is out/non functional in the area of the balder tank and water softener.

6.6 Operation of GFCI (Ground Fault Circuit Interrupters)

Inspected

GFCI plug or GFCI protected circuits were found in the kitchen.

We recommend adding GFCI protected circuits or plugs for all bathrooms, garages and exterior for safety and value.

6.8 Smoke Detectors

Repair or Replace

(1) Smoke detector has been removed from the In-Law suite. Recommend replacing for safety.



6.8 Item 1(Picture)

6.9 Carbon Monoxide Detectors

Inspected

Carbon monoxide detectors found on every level of the main house. Recommend adding CO detectors to the In-Law Suite.

7. Heating / Central Air Conditioning

General Summary

7.7 Cooling and Air Handler Equipment

Inspected

Air Conditioning units were NOT tested due to outside temperature has been below 65 degree Fahrenheit at the time of inspection. Manufactures recommend that testing takes place when the temperature is constantly above 65 for longer then a 24 hour time period for best results and to prevent possible damage to the unit.

We have selected this statement to show on the summary page for your information.

AC unit for the main house is 2.5 Ton and 14 years old.

AC unit for the In-Law Suite is 1.5 Ton and 21 years old. AC units typically have 15-18 year service life. This unit may require annual maintenance or repair to assure adequate cooling or reliability.

9. Bathroom and Components

General Summary

9.1 Doors (Representative number)

Inspected

Basement bathroom door needs adjusting, door closes well but does not latch. Recommend adjustments to the door, door frame or lock set for reliable closing and latching for privacy.

9.4 Plumbing Drain, Waste and Vent Systems**Repair or Replace**

(1) In-law bathroom toilet was not tested, missing flush lever and tank was dry.

In-law vanity sink drain leaks. Recommend repairing or replacing parts by qualified plumbing contractor.

9.5 Plumbing Water Supply and Distribution Systems and Fixtures**Repair or Replace**

Faucet valve leaks at the in-law suite vanity when turned on.

Faucet valve leaks at the jetted tub when turned on.

Supply line disconnected to the toilet and toilet is non-functional at the inlaw suite bath.

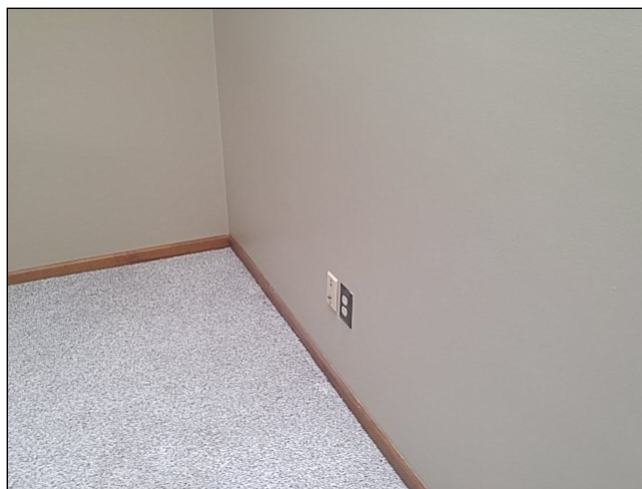
We recommend above repairs by qualified plumbing contractor. Toilet should be rebuilt because of dried out tank hardware and seals. Trap and tank were dry on the toilet.

9.6 Enclosure / Tub & Shower**Inspected**

Jetted Tub was tested and appeared to operate correctly at the time of inspection. Tub had no accessible service access panel present. Inspector was not able to inspect the plumbing supply lines, plumbing drain lines or the electric source to the motor. Recommend adding an access panel to allow for future inspection or future service if necessary. Recommend repairs by qualified contractor.



9.6 Item 1(Picture)



9.6 Item 2(Picture)

9.7 Outlets Switches and Fixtures**Repair or Replace**

Vanity light missing and exposed electrical leads. Recommend repairs.



9.7 Item 1(Picture)



9.7 Item 2(Picture)

10. Rooms

General Summary

10.0 Ceilings

Inspected

Tape joint cracks and previous repairs noted on the master bedroom and bathroom near skylights. Cosmetic details.

Previous repair noted on the basement ceiling.



10.0 Item 1(Picture)



10.0 Item 2(Picture)



10.0 Item 3(Picture)

10.1 Walls

Inspected

Drywall surfaces found in good repair. Limited viability due to home owners personal items.

Basement closet wall in the southeast corner was found with surface residue. Area measured dry but maybe splatter or past fungal growth. Recommend evaluation by qualified handyman or contractor.



10.1 Item 1(Picture)



10.1 Item 2(Picture)

10.3 Steps, Stairways, Balconies and Railings

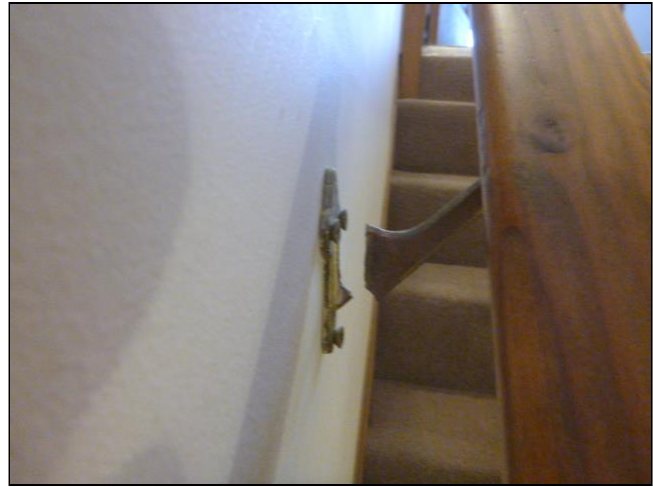
Repair or Replace

Open railing found on the stairway located in the basement. Open railing sections can become a hazard for adults, children and pets. This is a consistent configuration for the age of the home. Recommend considering balusters or solid wall installed for safety. This is for the buyers information.

Handrail at the basement stairs is loose at the wall. Recommend replacing the support to prevent injury.



10.3 Item 1(Picture)



10.3 Item 2(Picture)

10.4 Doors (Representative number)

Inspected

Double bedroom doors at the in-law suite are missing handles. No way to open the doors after closing. Recommend adding handles.



10.4 Item 1(Picture)



10.4 Item 2(Picture)

10.6 Outlets, Switches and Fixtures

Inspected

(1) Ceiling fan in the In-Law suite need adjusting or securing because the fixture wobbles when the fan is running (sounds like a wind chime), recommend repairs by qualified electrical contractor or handyman.
(2) Closets were found with open/surface mounted light fixtures. Recommend having replacement fixtures installed that have a globe or cover over the light because of fire hazard.



10.6 Item 1(Picture)

Home inspectors are not required to report on the following: Life expectancy of any component or system; The causes of the need for a repair; The methods, materials, and costs of corrections; The suitability of the property for any specialized use; Compliance or non-compliance with codes, ordinances, statutes, regulatory requirements or restrictions; The market value of the property or its marketability; The advisability or inadvisability of purchase of the property; Any component or system that was not observed; The presence or absence of pests such as wood damaging organisms, rodents, or insects; or Cosmetic items, underground items, or items not permanently installed. Home inspectors are not required to: Offer warranties or guarantees of any kind; Calculate the strength, adequacy, or efficiency of any system or component; Enter any area or perform any procedure that may damage the property or its components or be dangerous to the home inspector or other persons; Operate any system or component that is shut down or otherwise inoperable; Operate any system or component that does not respond to normal operating controls; Disturb insulation, move personal items, panels, furniture, equipment, plant life, soil, snow, ice, or debris that obstructs access or visibility; Determine the presence or absence of any suspected adverse environmental condition or hazardous substance, including but not limited to mold, toxins, carcinogens, noise, contaminants in the building or in soil, water, and air; Determine the effectiveness of any system installed to control or remove suspected hazardous substances; Predict future condition, including but not limited to failure of components; Since this report is provided for the specific benefit of the customer(s), secondary readers of this information should hire a licensed inspector to perform an inspection to meet their specific needs and to obtain current information concerning this property.

Prepared Using HomeGauge <http://www.HomeGauge.com> : Licensed To Tom Trotter

**INVOICE**

National Property Inspections
2124 Canterbury Ct
Troy, OH 45373
937-332-1413
Inspected By: Tom Trotter

Inspection Date: 3/14/2018
Report ID: Sample Rpt

Customer Info:	Inspection Property:
Sample Report	123 Home Sweet Home Nice City OH 45312
Customer's Real Estate Professional:	

Inspection Fee:

Service	Price	Amount	Sub-Total
Inspection Fee	465.00	1	465.00
Termite Inspection	65.00	1	65.00
Radon Measurement w/WHI	150.00	1	150.00
Well Water Quality Test (Bacteria)	95.00	1	95.00
Misc	50.00	1	50.00
			Tax \$0.00
			Total Price \$825.00

Payment Method: Credit Card

Payment Status: Paid At Time Of Scheduling

Note:

Pre-Inspection Agreement**Client: Sample Report****Subject Property: 123 Home Sweet Home, Nice City, OH 45312**

The undersigned (Hereinafter referred to as the "Client") understands that this Home Inspection ("Home Inspection") is only a visual, non-invasive review of readily accessible areas. The Standards of Practice meet those prescribed by the American Society of Home Inspectors (ASHI) trade organization. This is not a compliance inspection or certification for past or present governmental codes or regulations of any kind. No excavation or removal of obstructions is performed. Hidden or obstructed defects may not be observed. In addition, some property components are inspected on a random sampling of like items, e.g., electrical outlets, windows, doors, etc. Therefore not every defect may be identified. The Inspector and the Inspection Report are not intended to provide repair estimates. However, if any cost estimates are provided, such estimates are approximated and not precise. Costs will often vary due to such variables as the size of the contracting company, the time of year, the quality of materials selected and the final scope of the work to be performed.

The inspection and report do not address and are not intended to address the possible presence of or danger from any potentially harmful substances or environmental hazards including radon gas, underground fuel storage tanks, lead paint, lead solder, mold/mildew, asbestos, urea formaldehyde, low frequency electromagnetic waves or toxic or flammable chemicals. Also excluded are swimming pools, hot tubs, wells, septic systems, intercoms, whole house vacuum systems, antenna systems, alarm systems, sprinkler systems, and the presence or absence of rodents and other vermin. The inspection and report do not address nor are intended to address the presence of wood destroying insects, such as termites or carpenter ants, but rather to discover significant visible structural damage caused by the insects.

The Client understands, accepts and agrees that the undersigned inspector on behalf of Trotters Property Inspections, Inc. dba National Property Inspections (individually and collectively referred to herein as the "Inspector/National Property Inspections") do not impliedly or expressly warrant or guarantee its Home Inspection, Home Inspection Report, or the condition of the subject property. Damages for any claimed deficiency in the Home Inspection of the property to discover actual or potential defects shall be limited to the fee charged to Client for the Home Inspection and Home Inspection Report.

The Client hereby releases the Inspector/National Property Inspections and their agents and employees and agrees to hold same harmless from any and all liability, claims, demands, actions, causes of action and responsibility whatsoever for the cost of repairing or replacing any unreported defect or deficiency and for any consequential damage, property damage or personal injury of any nature regardless of whether such damages or injuries caused in whole or part by the negligence of Inspector/National Property Inspections. Furthermore, the Client

hereby releases the Inspector/National Property Inspections and their officers, directors, shareholders, agents and employees and agrees to hold same harmless from any and all liability and responsibility for the cost of repairing or replacing any unreported defect or deficiency and for any consequential damage, property damage or personal injury of any nature pertaining to third party inspections (i.e. inspections of septic, well, water quality and termites).

In the event that any dispute arises out of or relates to the Home Inspection performed or Home Inspection Report issued under this Agreement other than for Client's failure to pay for the Home Inspection, such dispute shall be submitted to arbitration for resolution and such dispute or claim shall not be heard in any court of law or equity in any jurisdiction. Election to submit any claim to arbitration must be given, in writing to Inspector/National Property Inspections within one (1) year of the Home Inspection. The arbitration shall be conducted pursuant to the Construction Industry Arbitration Rules as set out by the American Arbitration Association or if not available, a similar expedited arbitration process. In the event that a dispute is submitted to arbitration pursuant to this Paragraph, the decision of the arbitration shall be final and binding on the parties and judgment on the award of arbitrators may be entered in any court of competent jurisdiction, but it is specifically agreed that the award and judgment shall be limited to the fee charged to client for such Home Inspection and Home Inspection Report.

In the event that the Inspector/National Property Inspections and/or their agents or employees are found liable due to breach of contract, breach of warranty, negligence, negligent misrepresentation, negligent hiring, violation of any statute or Consumer Protection Act or any other theory of liability, then the liability of the Inspector/National Property Inspections and his agents and employees shall at all times be limited to a sum equal to the amount of the fee paid by the client for the Home Inspection and Home Inspection Report.

The Report is prepared solely for the use of the Client and cannot be copied or otherwise disseminated without Inspector/National Property Inspections' written consent, and further that use or reliance upon the report by any other parties or for any other purposes is prohibited. Further, that no third party rights are created by the report or the Agreement, and no third parties can rely upon the agreement, and that client will defend and indemnify Inspector/National Property Inspections for any alleged damages caused by such third party reliance.

If client fails to pay the fee for the report and inspection then client will be responsible for any and all fees related to collection of the unpaid fees including, but not limited to, reasonable attorney fees.

The Client understands that the inspection and report do not constitute a guarantee or warranty of merchantability or fitness for a particular purpose, express or implied, or an insurance policy, nor is it a substitute for real estate transfer disclosures which may be required by law.

(1) agreement is governed by Ohio law; (2) failure to enforce any provision of the agreement will not constitute a waiver of that provision; (3) client can't assign its rights/obligations under the agreement without your consent; (4) the agreement

constitutes the total agreement between the parties and supersedes any previous discussions whether written or oral; (5) If any provision of the Agreement is found to be void or unenforceable by a court of competent jurisdiction then it shall not affect the validity or enforceability of the rest of the Agreement.

Your inspector or home inspection company may have an affiliation with a third party service provider ("TPSP") in order to offer you additional value-added services. By entering into this agreement you (a) authorize your inspector to provide your contact information (including telephone number) to the TPSP, (b) waive and release any restrictions that may prevent the TPSP from contacting you (including by telephone using automated dialing technology), and (c) authorize the TPSP to contact you (including by telephone using automated dialing technology) regarding home services.

The Inspector/National Property Inspections express no opinion of the subject property beyond what is set forth in its Home Inspection Report. The client may wish to obtain other types of inspections for air quality or mold or other matters that are not addressed in the Home Inspection Report.

Tom Trotter

National Property Inspections

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937-332-1413**